

SL No - 2086

I 2413



পশ্চিমবঙ্গ পশ্চিম বঙ্গাল WEST BENGAL

591550



Hon'ble Notary Dr

15.6.10
 16.6.10

DL NO WB 14781 B 323

el. Registrar of
 Republic of West Bengal



Certified that the document is admitted to Registration and the Signature Sheet and the Endorsement Sheet attached to the Document are part of this Document.

District Sub-Registrar
 16 JUN 2010

DEED OF CONVEYANCE

Visit Commission case No. 691
 For. 16
 Fees Paid (1) Rs. 250
 (2) Rs. 100
 ITA Rs. 20
 370
 District Sub-Registrar

15 JUN 2010

Anwar Hassan

S. L. No. 8625
Value Rs. 5000.00

Issued to Shri/Smt. Goshho Bishnoi Das

Address: Siliguri

T. K. ROY

STAMP VENDOR

Licence No. 2 of 81-83

Sadar Registration Office
Jalpaiguri

Amite Approved

787



Amite Approved



Handwritten mark resembling a stylized 'N' or '7'

District Sub-Registrar
Jalpaiguri

15 JUN 2010

DEED OF CONVEYANCE

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19105 1000 21

Amli & Agarwal

-: 2 :-

Value of : Rs. 2,00,000.00
P.S. : Bhaktinagar

Area of Land : 7 Katha 11 Chhatak or 0.1268 Acres.
Mouza : Dabgram


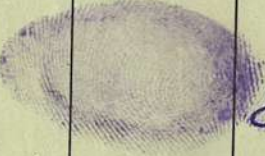








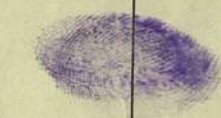

UNDER GRAM PANCHAYET AREA

This indenture made on this the 15th day of June
Two Thousand Ten

I B I E T W I E I E N

SRI GOSTHA BIHARI DAS, Son of Late DR. NIKUNJA BIHARI DAS, by religion Hindu (Indian Citizen), residing at Bidhan Road, Siliguri, P.O. & P.S. Siliguri, District Darjeeling, hereinafter called the "PURCHASER" (which expression shall mean and include unless excluded by or repugnant to the context his heirs, executors, successors, administrators, representatives and assigns) of the ONE PART

A N D

 <u>Agarwal</u>					
					

Contd.....3



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District Sub-Registrar
Jalpaiguri

15 JUN 2010

SRI ANKIT AGARWAL, Son of Late GOBINDA RAM AGARWAL, by religion Hindu (*Indian Citizen*), by occupation, Business, residing at Mahatama Gandhi Road, P.O. & P.S. Gangtok, Sikkim, hereinafter called the "**VENDOR**" (*which expression shall mean and include unless excluded by or repugnant to the context his heirs, executors successors, administrators, representatives and assigns*) of the **OTHER PART.**

A N D

WHEREAS, the Vendor has acquired by way of purchase the land measuring 7 Katha 11 Chhatak or 0.127 acres of land, by virtue of a Registered Deed of Sale, Execution dated 22/09/2005 & Admit dated 6/03/2006, Registrar Bearing No. I - 1241, registered at District Sub-Registry Office, Jalpaiguri, for the year 2006, Purchased from Sri Debashish Dutta & Sri Subhashish Dutta, both S/o. Late Ratan Kumar Dutta, and the said land is situated within Pargana Baikunthapur, A. D. S. R. Office Rajganj, Mouza Dabgram, P.S. Bhaktinagar, District Jalpaiguri and since then the Vendor has been enjoying & possessing his said purchased landed property peacefully, as sole and absolute Owners thereof.

A N D

WHEREAS the Vendor being absolute owner his possessing the said land in actual physical possession continuously without any interruption since long together with all right and title therein and therefo and having permanent heritable and transferable interest therein and on Payment of annual rents to the Superior Land Lord. Now State of West Bengal.

A N D

WHEREAS, the Vendor being in need of money his offered for sell the said land measuring 7 Katha 11 Chhatak or 0.1268 acres of land fully described in the Schedule below, free from all encumbrances whatsoever.

Contd.....4

Amrit
Agarwal



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District Sub-Registrar
Jalpaiguri

15 JUN 2010

-: 4 :-

A N D

WHEREAS, the Purchaser being in need of a plot of land and being offered by the Vendor, have agreed to purchase the said land measuring 7 Katha 11 Chhatak or 0.1268 acres fully described in the Schedule below, for the consideration amount of Rs. 2,00,000 /- (Rupees Two Lakhs) only, free from all encumbrances whatsoever.

A N D

WHEREAS, the Vendor considering the price so offered by the Purchaser as fair, reasonable and highest in the prevailing in the market rate, his finally agreed to sell his said land fully described in the Schedule below, for the consideration amount of Rs. 2,00,000 /- (Rupees Two Lakhs) only, free from all encumbrances whatsoever, unto the Purchaser and the said Land is transferred in the manner as appearing hereinafter.

NOW THIS INDENTURE OF SALE WITNESSETH, that in pursuance of the afore said offer and acceptance and also in consideration for the said sum of Rs. 2,00,000 /- (Rupees Two Lakhs) only, paid by the Purchaser to the Vendor (*the receipt whereof the Vendor do hereby acknowledges and grant fulll discharges to the Purchaser from the payment thereof*), the Vendor **DOETH** hereby grant, convey, assign, sell, and transfer his said land measuring 7 Katha 11 Chhatak or 0.1268 acres fully described in the Schedule below, together with all right, title, interest, hereditaments, privileges, easements, etc. whatsoever belonging to or reputed to belong therewith free from all encumbrances whatsoever and for the payment of rent and taxes to the Superior Landlord now the State Government of West Bengal or to any other Authority or Authorities as prescribed Law from time to time in future.

A N D

Contd.....5

Anil
Agarwal



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District Sub-Registrar
Jalpaiguri

15 JUN 2010

Amir
Rajganj

-: 5 :-

The Vendor hereby further declares that the interest which he professes to transfer hereby has not been mortgaged, sold, and has not been contracted for sale to any person or persons in respect of the said Schedule below land and the Vendor also further covenants with the Purchaser that the said land is free from all encumbrances and if in future the Purchaser be deprived of Ownership or of Possession of the said Schedule below land, the Vendor shall be liable for adequate compensation for such deprivation from the date thereof.

A N D

The Vendor further covenants with the Purchaser that if for any defect of title of the said Schedule below land or for any act done or suffered to be done by the Vendor, the Purchaser be deprived of Ownership or of Possession of the said Schedule below land or any part thereof in future, then the Vendor shall return to the Purchaser the full or proportionate part of the consideration amount of money as the case may be together with adequate interest from the date of such deprivation of Ownership or of Possession and the Vendor shall also pay adequate compensation to the Purchaser for any other loss or injury which the Purchaser may suffer or sustain resulting therefrom.

SCHEDULE OF LAND

All that piece or parcel of raiyati land measuring 7 Katha 11 Chhatak or 0.1268 acres, at an annual proportionate rent of Rs. 2.50 paise only, the proportionate rent for the said demised plot of land is payable to the Landlord, the State Government of West Bengal, represented by the B.L. & L.R.O. Rajganj, situated within Pargana Baikunthapur, Mouza Dabgram, A.D.S.R. Office Rajganj, P.S. Bhaktinagar, District Jalpaiguri, J.L. No.-2, Touzi No.-3, appertaining to Three Hal Khatian Nos. 459/1 (Four Hundred Fifty Nine By One), 459/5 (Four Hundred Fifty Nine By Five) & 459/7 (Four Hundred Fifty Nine By Seven), Sheet No. 9 (Nine), included in part of Plot No. 348 (Three Hundred Forty Eight) measuring 7 Katha 11 Chhatak or 0.1268 acres of Land is hereby sold by the Vendor to the Purchaser by virtue of these presents. Classification of Land - Dahala

Contd.....6



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District Sub-Registrar
Jalpaiguri

15 JUN 2010

Ankur Agarwal

-: 6 :-

The sold land is bounded as follows :-

North : Land of ~~Vendor~~ Purchaser.

South : 20'-00" Wide Kucha Road.

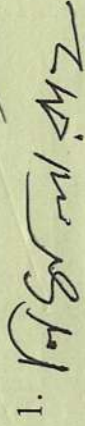
East : Sold Land of Smt. Kanika Roy.

West : Land of ~~Vendor~~ Purchaser.

One Copy of Site Plan of the Land sold shown by Red Border Lines annexed herewith this Sale Deed and should form part of these presents.

IN WITNESS WHEREOF, the Vendor hereof, put his signature on this Deed on the day, month and year first above written.

WITNESSES :-

1. 

गिरीश चंद्र शर्मा

पत्तन संस्थान

जयपुर

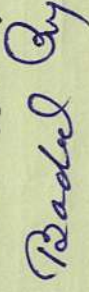
राजस्थान

पिन 302001

2. 

श्रीमती सुश्री शर्मा

Prepared & Typed by me :-



(SRI BADAL ROY)

Deed Writer, Jalpaiguri,

Licence No. - 31.

Ankur Agarwal

Ankur

Ankur Agarwal



[Handwritten signature]

District Sub-Registrar
Jalpaiguri

15 JUN 2010



Government Of West Bengal
Office Of the D.S.R. JALPAIGURI
District:-Jalpaiguri

Endorsement For Deed Number : I - 02413 of 2010
(Serial No. 02086 of 2010)

On 15/06/2010

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)
Presented for registration at 16.12 hrs on :15/06/2010, at the Private residence by Sri Ankit Agarwal,Executant.

Admission of Execution(Under Section 58,W.B.Registration Rules,1962)
Execution is admitted on 15/06/2010 by

1. Sri Ankit Agarwal, son of Late Gobinda Ram Agarwal , Mahatmagandhi Road, Thana:-GANGTOK, District:-East, SIKKIM, India, P.O. :-Gangtok , By Caste Hindu, By Profession : Business
Identified By Nirmal Roy, son of Late Musal Roy, Ektiasal., Thana:-Bhaktinagar, District:-Jalpaiguri, WEST BENGAL, India, P.O. :-Sevoke Road , By Caste: Hindu, By Profession: Others.

(Hareram Das)
DISTRICT SUB-REGISTRAR

On 16/06/2010

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 23 of Indian Stamp Act 1899. also under section 5 of West Bengal Land Reforms Act, 1955; Court fee stamp paid Rs.10/-

Payment of Fees:

Fee Paid in rupees under article : A(1) = 6655/- ,H = 28/- ,M(b) = 4/- on 16/06/2010

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs.-605781/-

Certified that the required stamp duty of this document is Rs.- 80289 /- and the Stamp duty paid as:
Impresive Rs.- 5000/-

Deficit stamp duty

Deficit stamp duty Rs. 25290/- is paid, by the draft number 167934, Draft Date 15/06/2010, Bank Name State Bank of India, SILIGURI COURT, received on 16/06/2010

(Hareram Das)
DISTRICT SUB-REGISTRAR

(Hareram Das)
DISTRICT SUB-REGISTRAR

16/06/2010 14:13:00

EndorsementPage 1 of 1

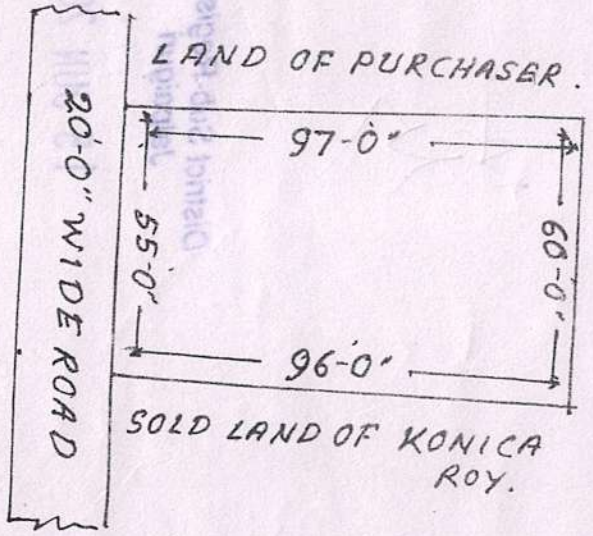
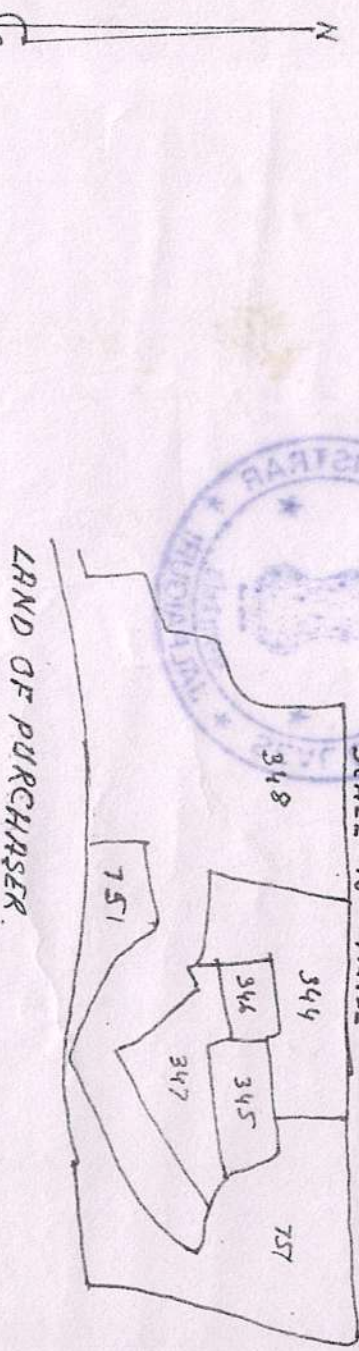


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District Sub-Registrar
Jaipalguri

16 JUN 2010

SKETCH MAP OF MOUZAH DARGARH. T.L. NO 2. P.S. RAJGANJ NOW BHARATI
 NABGR. DIST. JALPAIGURI. SHEET NO 9. KHATTIYA NO 459/1, 459/5, 459/7
 PLOT NO 348 (PART) PURCHASED LAND 7 (SEVEN) KHATHIYAN
 ORO. 1268 HCRE. SCALE - 1" (INCH) 40' (FEET) PURCHASED LAND SHOWN
 IN RED DEMARCATION.

NAME OF THE PURCHASER	NAME OF THE SELLER.
SRI GOSTHA BEHARI DAS S/O	SRI ANKIT AGARWAL S/O LATE
LATE DR. NIKUNJ BEHARI DAS	GOBINDARAM AGARWAL OF MAHAT
OF BIDHAN ROAD SILIGURI. P.O+P.S.	- MA ROAD. P.O+P.S. GANGTOR - -
SILIGURI. DIST. DARJEELING.	SIKKIM.



PK
BIKASH KAR (AMIN)
 Govt. Regd No. 66381/92
 SILIGURI

Anuraj Approved
 SIGNATURE OF THE SELLER.



MS

District Sub-Registrar
Jalpaiguri

15 JUN 2010

স. স্বাক্ষর স্বাক্ষর

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I
CD Volume number 6
Page from 2617 to 2626
being No 02413 for the year 2010.



(Hareram Das) 16 June-2010
DISTRICT SUB-REGISTRAR
Office of the D.S.R. JALPAIGURI
West Bengal